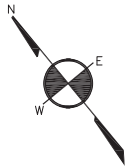


15 Illinois Avenue, Somerville, MA 02145



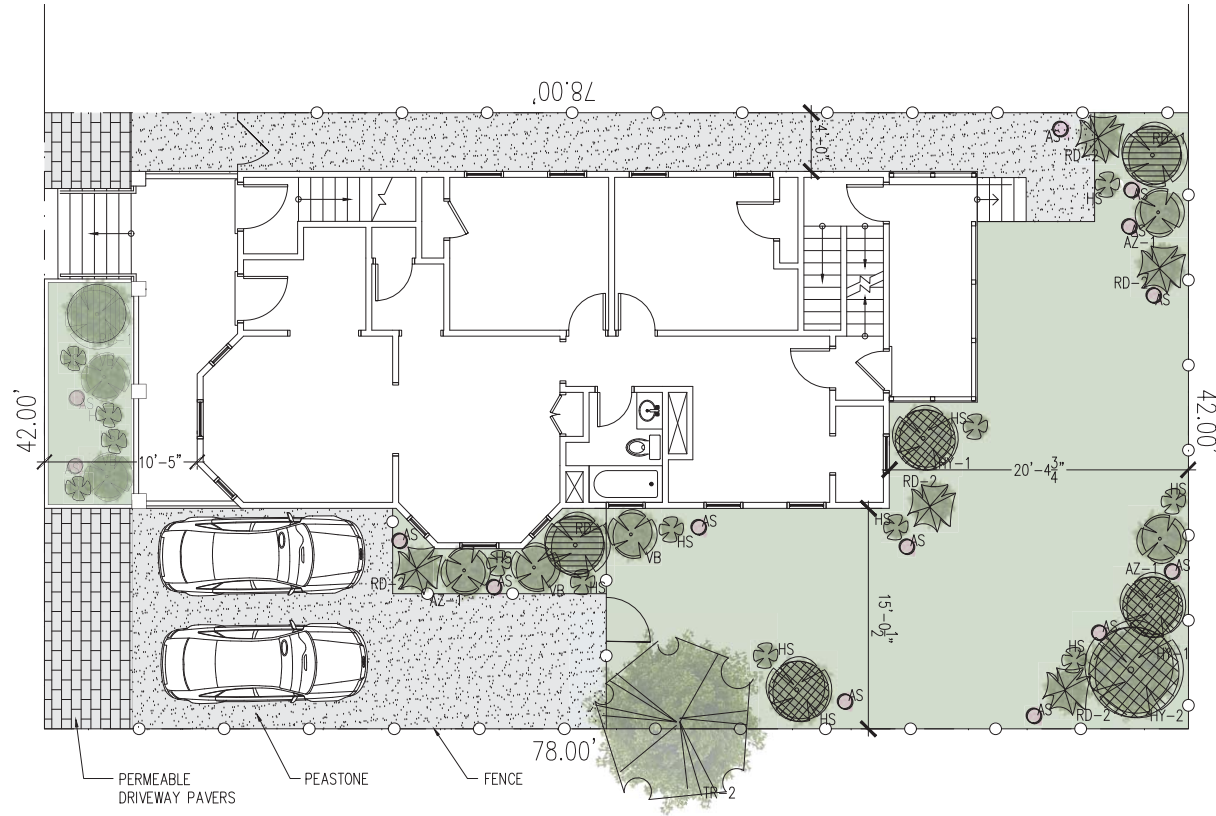
LIST OF SYMBOLS	ABBREVIATIONS	SITE LOCATION
EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED, REFER TO D DRAWINGS. EXISTING STRUCTURE OR PARTITION TO REMAIN. NEW STRUCTURE OR PARTITION. FINISH ELEVATION. GENERAL DETAIL. WALL SECTION INTERIOR ELEVATION DOOR IDENTIFICATION SYMBOL WINDOW IDENTIFICATION SYMBOL FLOOR FINISH SYMBOL WALL TYPE TAG FINISH TAG ROOM TAG CAT 3/COAX/DATA DUPLEX OUTLET GROUND FAULT OUTLET	AFF ABOVE FINISHED FLOOR CJ CONTROL JOINT CLR CLEAR CLF CLEAN CLN CLEAN OUT COL COLUMN CON CONCRETE CONT CONTINUOUS DN DOWN EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL EQ EQUAL EXST EXISTING FC FURRING CHANNEL FD FLOOR DRAIN FIN FINISH FL FLOOR GL GLASS GWB GYPSUM WALLBOARD HT HEIGHT HWHD HARDWOOD HTRC HEATING/VENTILATION/COOLING INSUL INSULATION MAN MANHOLE MFR MANUFACTURER MSISM MISCELLANEOUS MO MASCHORY OPENING METL METAL NEC NOT TO CONTRACT NTS NOT TO SCALE ON CENTER PLAM PLASTER/LAMINATE PLYVD PLYWOOD PNTD PAINTED REQD REQUIRED RLN RAISER STL STEEL STRU STRUCTURE/STRUCTURAL TYP TYPICAL UNO UNLESS NOTED OTHERWISE VCT VINYL COMPOSITION TILE WD WOOD WITH WWND WINDOW	 <div style="display: flex; justify-content: space-between;"> <div> <b>DRAWING LIST</b>            ARCHITECTURAL            COVER SHEET            CO-1 EXISTING SITE PLAN            AD-1 PROPOSED SITE PLAN            ZI-1 ZONING CALCULATIONS            AI-1 LOWER LEVEL FLOOR PLANS            AI-2 FIRST LEVEL FLOOR PLANS            AI-3 SECOND LEVEL FLOOR PLANS            AI-4 THIRD LEVEL FLOOR PLANS            AD-2 ELEVATIONS            AD-2 ELEVATIONS         </div> <div> <b>CONTACT</b>  <u>ARCHITECT</u>            Andrew Foster Design            875 Main Street            Cambridge, MA 02139            Dan Anderson            617-354-2501    <u>BUILDER</u>            North American Development, LLC            10 Franklin Avenue            Somerville, MA 02145            Hudson Santos            617-272-0842         </div> </div>

[illegible]



# ILLINOIS AVENUE

(PUBLIC WAY-VARIABLE WIDTH)



PROPOSED SITE PLAN  
Scale 1/4" = 1'-0"

## PLANTING SCHEDULE

GC-1 \_ GROUND COVER - MYRTLE - VINCA MINOR  
GC-2 \_ GROUND COVER - PACHYSANDRA - TERMINALUS

AZ-1 \_ AZALEA \_ (2)                      TR-2 \_ LITTLELEAF LINDEN \_ (1)  
VB \_ VIBURNUM ALLEGANY \_ (5)        HY-2 \_ HYDRANGEA - OAK LEAF WHITE \_ (1)  
AS \_ ASTILBE \_ (13)                    RD-2 \_ RHODODENDRON - CUNNINGHAM'S WHITE \_ (5)  
HS \_ HOSTA - BUCKSHOT BLUE \_ (13)  
HY-1 \_ HYDRANGEA - ENDLESS SUMMER \_ (3)  
RD-1 \_ RHODODENDRON - GOLDEN TORCH \_ (2)

LANDSCAPE AREA: 1,338SF / PAVED/PARKING AREA: 552SF (90SF PAVERS, 462SF CRUSHED STONE)  
PERVIOUS AREA: 2,207SF (1,338 SF LANDSCAPE, 126SF PAVERS, 462 SF CRUSHED STONE)

## REVISIONS

No.	Description	Date

AndersonPorterDesign  
875 Main Street Cambridge, MA 02139  
Tel: 617.354.2501 Fax: 617.354.2599

Project: 15 ILLINOIS AVE

Address: 15 ILLINOIS AVENUE  
SOMERVILLE, MA 02145

Site: PROPOSED SITE PLAN

Drawn by: ANDERSON PORTER DESIGN

File # 1822

Date: 08/02/2018

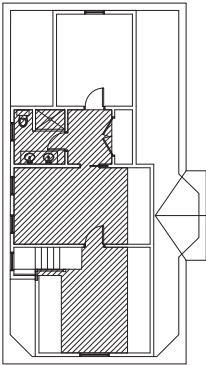
Scale: AS NOTED

Drawn by: GGO

A0.1

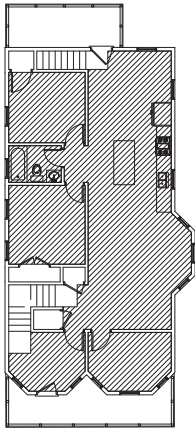
9. Zoning Data						
Refer to the SZO § 2.2 Definitions and SZO § 8 Dimensional Requirements for more information.						
Data	Existing	Proposed	Allowed	Existing or Permitted Nonconformity	New Violation	SZO Section Cited
Fill in both columns: numbers must match those on plans and other attached documentation.			Office Use			
A. Use	Residential RA	Residential RA				
B. # of Dwelling Units*	2 units	2 units				
C. Lot Area	3276 square feet	3276 square feet				
D. Lot Area + # of Dwelling Units	1638 sf per du	1638 sf per du				
E. Gross Floor Area of Footprints of All Buildings	1122 square feet	1122 square feet				
F. Ground Coverage (E ÷ C.)	34 %	34 %				
G. Landscaped Area (landscaped area ÷ C.)	29 %	34 %				
H. Pervious Area (pervious area ÷ C.)	29 %	59 %				
I. Net Floor Area** / *** (sum of all usable square feet)	2202 square feet	2470 square feet				
J. Floor Area Ratio (FAR) (I ÷ C.)	0.67	0.75				
K. Building Height	32 feet	32 feet				
L. Front Yard Setback	5 feet	5 feet				
M. Rear Yard Setback	14.5 feet	14.5 feet				
N. Side Yard Setback (left when you face property)	4.4 feet	4.4 feet				
O. Side Yard Setback (right when you face property)	14 feet	14 feet				
P. Street Frontage	42 feet	42 feet				
Q. # of Parking Spaces	2	2				
R. # of Bicycle Parking Spaces	0	0				
S. # of Loading Spaces	0	0				
* 8 or more dwelling units - determine if Inclusionary Housing, Article 13, applies						
** In CCD and TOD use GROSS floor area						
*** 30,000+ square feet - determine if Linkage, Article 15, applies						

AREA CALCULATIONS	
UNIT 1	1206 SF
UNIT 2	1264 SF
TOTAL AREA	2470 SF



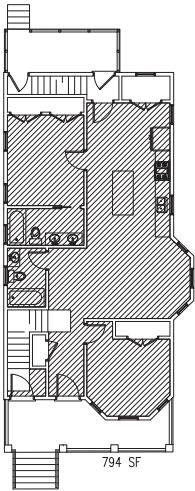
384 SF

4 THIRD FLOOR PLAN - UNIT 2  
Z1.1 Scale 1/4" = 1'-0"



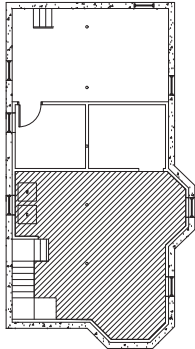
880 SF

3 SECOND FLOOR PLAN - UNIT 2  
Z1.1 Scale 1/4" = 1'-0"



794 SF

2 FIRST FLOOR PLAN - UNIT 1  
Z1.1 Scale 1/4" = 1'-0"

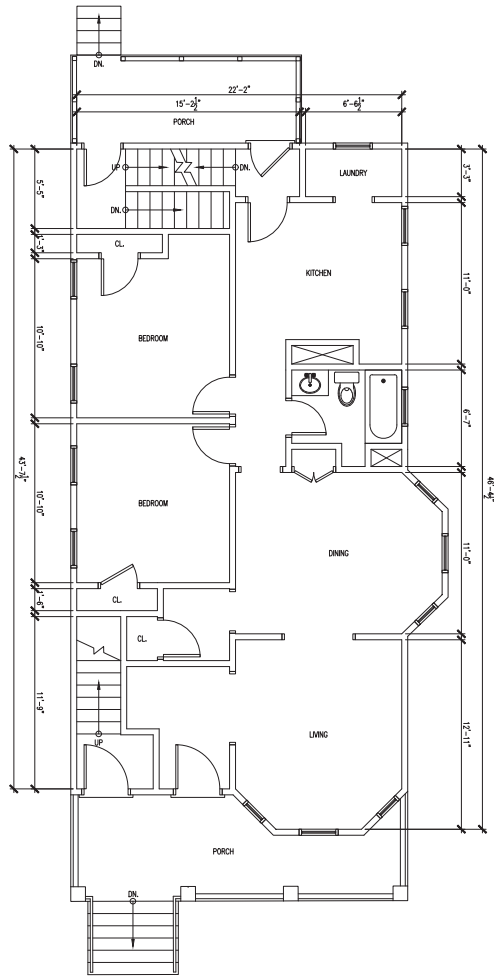


412 SF

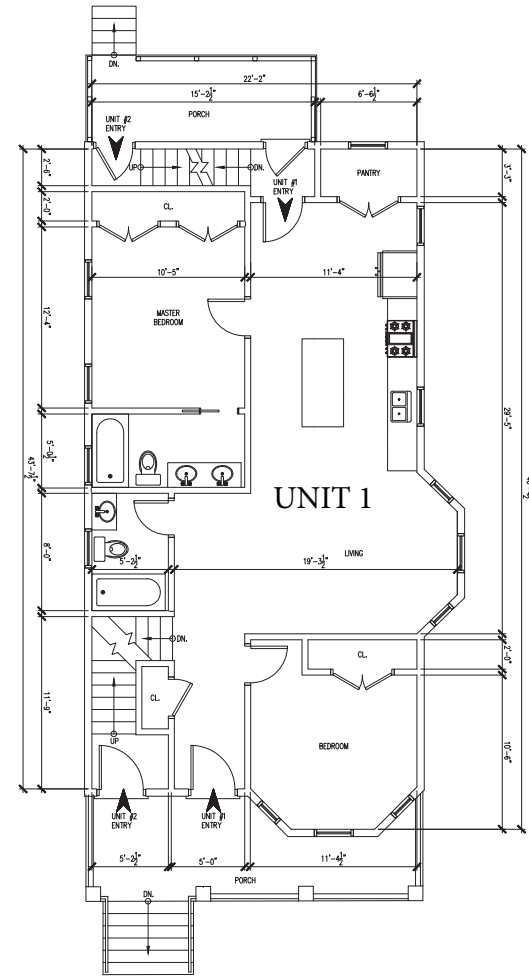
1 LOWER LEVEL FLOOR PLAN - UNIT 1  
Z1.1 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
AndersonPorterDesign 875 Main Street Cambridge, MA 02139 Tel. 617.354.2501 Fax. 617.354.2559		
Project	15 ILLINOIS AVE	
Address	15 ILLINOIS AVENUE SOMERVILLE, MA 02145	
Drawn	ZONING CALCULATIONS	
Designed by	ANDERSON PORTER DESIGN	
Drawn by	1822	
Date	08/02/2018	
Scale	AS NOTED	
Drawn by	GGG	
Z1.1		





1 EXISTING FIRST LEVEL FLOOR PLAN  
Scale 1/4" = 1'-0"



2 PROPOSED FIRST LEVEL FLOOR PLAN  
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

AndersonPorterDesign  
875 Main Street Cambridge, MA 02139  
Tel. 617.354.2501 Fax. 617.354.2509

Project: 15 ILLINOIS AVE

Address: 15 ILLINOIS AVENUE  
SOMERVILLE, MA 02145

Drawn: FIRST LEVEL FLOOR PLANS

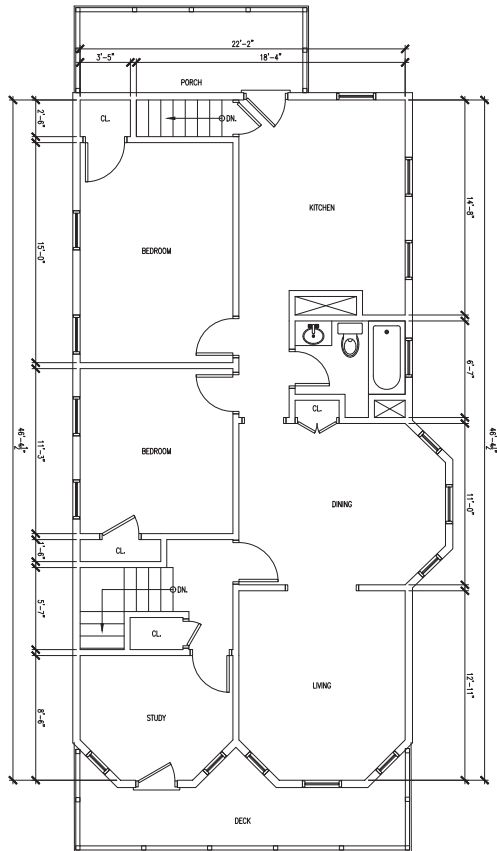
Designed by: ANDERSON PORTER DESIGN

Proj. #: 1822

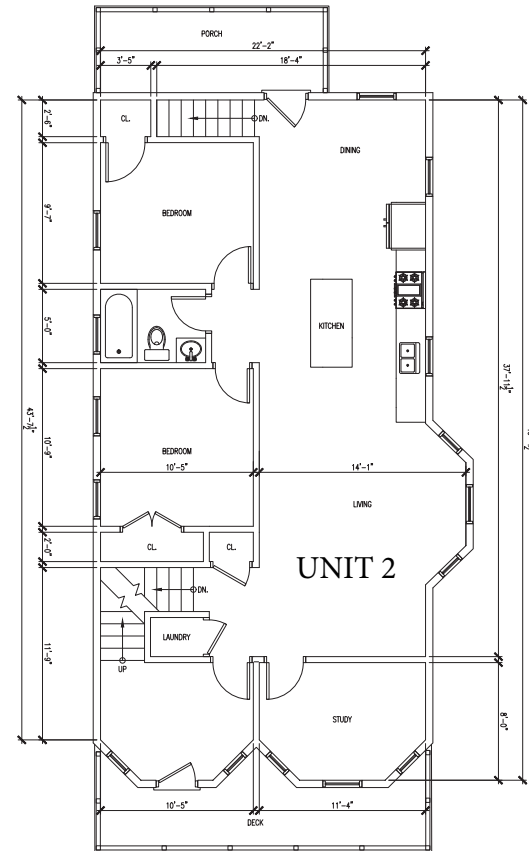
Date: 08/02/2018

Scale: AS NOTED

Drawn by: GGO



1 EXISTING SECOND LEVEL FLOOR PLAN  
A1.3 Scale 1/4" = 1'-0"



2 PROPOSED SECOND LEVEL FLOOR PLAN  
A1.3 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

**AndersonPorterDesign**  
875 Main Street Cambridge, MA 02139  
Tel. 617.354.2501 Fax. 617.354.2509

Project: 15 ILLINOIS AVE

Address: 15 ILLINOIS AVENUE  
SOMERVILLE, MA 02145

15 SECOND LEVEL FLOOR PLAN

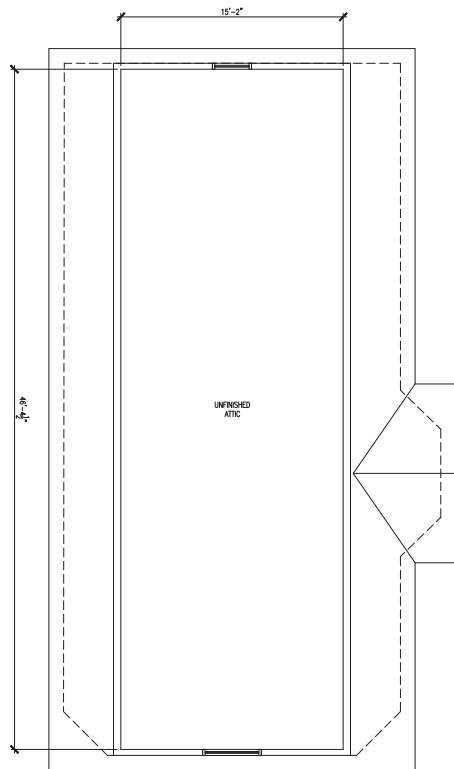
Client: ANDERSON PORTER DESIGN

File #: 1822

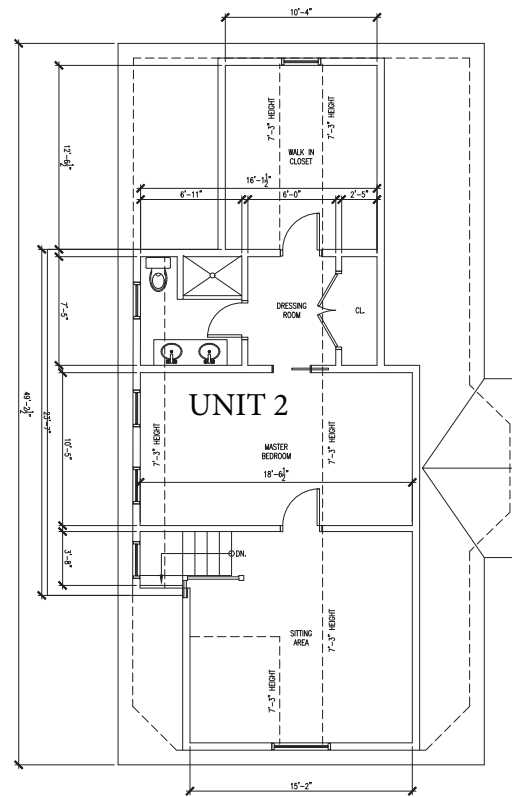
Date: 08/02/2018

State: AS NOTED

Drawn by: GGO



1 EXISTING THIRD LEVEL FLOOR  
Scale 1/4" = 1'-0"



2 PROPOSED THIRD LEVEL PLAN  
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

AndersonPorterDesign  
875 Main Street Cambridge, MA 02139  
Tel. 617.354.2501 Fax. 617.354.2509

Project 15 ILLINOIS AVE

Address 15 ILLINOIS AVENUE  
SOMERVILLE, MA 02145

Site THIRD LEVEL FLOOR PLAN

Design/prepare ANDERSON PORTER DESIGN

File # 1822

Date 08/02/2018

Scale AS NOTED

Drawn by GGO

A1.4



1 EXISTING WEST ELEVATION  
A2.1 Scale 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
A2.1 Scale 1/4" = 1'-0"



3 PROPOSED WEST ELEVATION  
A2.1 Scale 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION  
A2.1 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

AndersonPorterDesign  
875 Main Street Cambridge, MA 02139  
Tel. 617.354.2501 Fax. 617.354.2559

Project 15 ILLINOIS AVE

Address 15 ILLINOIS AVENUE  
SOMERVILLE, MA 02145

Site ELEVATIONS

Designed by ANDERSON PORTER DESIGN

Plot # 1822

Date 08/02/2018

Scale AS NOTED

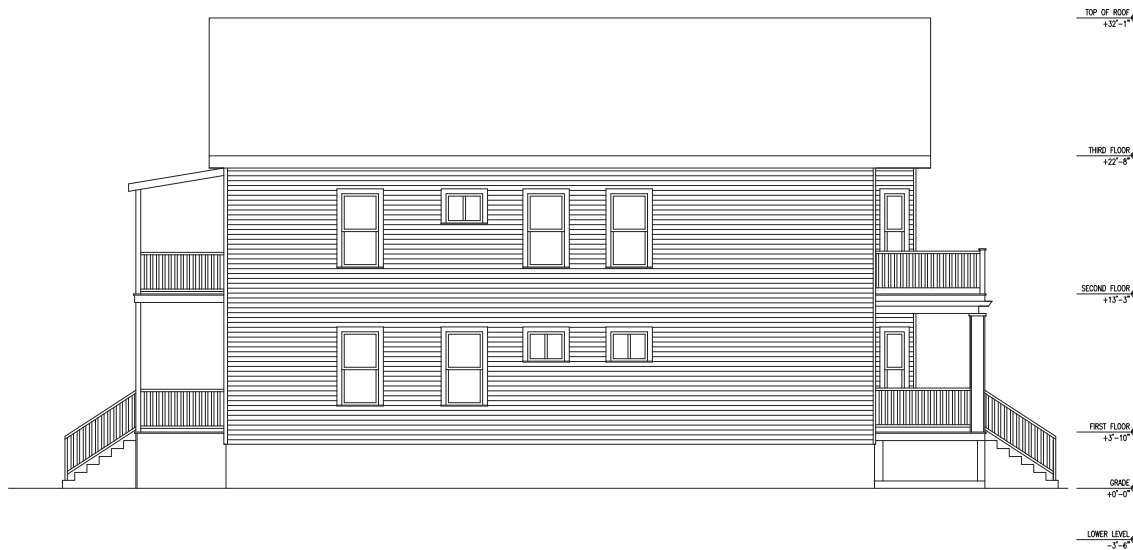
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A2.1





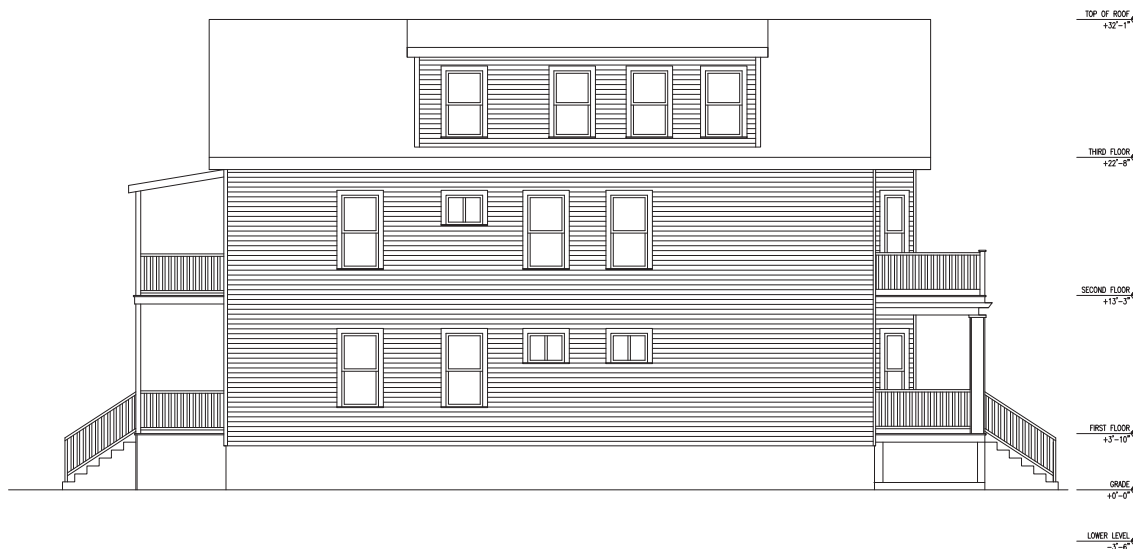
1 EXISTING EAST ELEVATION  
Scale 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION  
Scale 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION  
Scale 1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION  
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

AndersonPorterDesign  
875 Main Street Cambridge, MA 02139  
Tel. 617.354.2501 Fax. 617.354.2559

Project 15 ILLINOIS AVE

Address 15 ILLINOIS AVENUE  
SOMERVILLE, MA 02145

Sheet ELEVATIONS

Designed by ANDERSON PORTER DESIGN

Proj # 1822

Date 08/02/2018

Scale AS NOTED

Drawn by GGO

A2.2